

ALTA/NSPS LAND TITLE SURVEY

SURVEY OF PARKVIEW TERRACE
PT. OF PLAT 657, ALL OF PLAT 656 IN SECTION 34 & 35, TOWNSHIP 2 SOUTH RANGE 6 EAST
CITY OF NEW ALBANY, FLOYD COUNTY, INDIANA

LEGAL DESCRIPTION:

The Housing Authority of the City of New Albany
Deed Book 135, page 263

(TRACT I)

Part of section 35 township 2 south, range 6 east, Floyd County, Indiana, described as follows; Beginning at a point on the north line of Graybrook Road, said point being 581.40 feet north 85° 50' East from the intersection of the north line of the Graybrook Road with the eastern line of Bono Road, running thence north 5° 40' west 338.10 feet; thence north 30° 00' west 361.90 feet; thence north 41° 17' west 307.00 feet; thence south 63° 49' west 245.61 feet to a point on the section line dividing sections 34 and 35 township 2 south, range 6 east; thence north 1° 45' west along said section line 332.80 feet; running north 77° 55' east 950.25 feet; thence south 5° 50' west 1001.25 feet; thence south 28° 13' west 351.40 feet to the north line of the Graybrook Road; thence south 85° 50' west along the north line of the Graybrook Road 18.00 feet to the place of beginning, containing 12.66 acres.

The Housing Authority of the City of New Albany
Deed Book 145, page 379

(TRACT II)

Part of Section 35 Township 2 South, Range 6 East, Floyd County, Indiana, described as follows: Beginning at the intersection of the easterly line of Bono Road with the northerly line of the Graybrook Road, running thence North 2 degrees 54 minutes west along the easterly line of Bono Road 338.6 feet to a point; thence North 3 degrees 20 minutes west along the easterly line of the Bono Road 55.9 feet to a point; thence North 12 degrees 15 minutes west along the easterly line of the Bono Road 109.66 feet to the southerly corner of the land now or formerly owned by Henry J Schaefer; thence North 1 degrees 45 minutes west along the easterly line of said Henry J Schaefer's land, said line being also the west line of Section 35, Township 2 South, Range 6 East 315.55 feet to a point; thence North 63 degrees 49 minutes east 245.61 feet to a point; thence South 41 degrees 17 minutes East 307.00 feet to a point; thence South 30 degrees 00 minutes east 361.9 feet to a point; thence South 5 degrees 40 minutes east 338.1 feet to a point on the northerly line of the Graybrook Road; thence South 85 degrees 50 minutes west along the northerly line of the Graybrook Road 581.4 feet to the place of beginning, containing 10.24 acres.

LESS AND EXCEPTING THEREFROM THE FOLLOWING:
Hope Southern Indiana, Inc.
Instrument No. 202120734

Part of Section 35, Township 2 South, Range 6 east, New Albany Township, Floyd County, Indiana, being more particularly described as follows:

BEGINNING at the intersection of the Easterly line of Bono Road with the Northerly line of Graybrook Road; thence North 02 degrees 34 minutes 33 seconds West along the Easterly line of Bono Road a distance of 420.10 feet; thence North 84 degrees 12 minutes 13 seconds East a distance of 73.99 feet; thence South 03 degrees 19 minutes 22 seconds East a distance of 131.94 feet; thence North 26 degrees 40 minutes 38 seconds East a distance of 40.68 feet; thence South 35 degrees 34 minutes 16 seconds East a distance of 200.12 feet; thence South 03 degrees 18 minutes 06 seconds East a distance of 123.50 feet to the Northerly line of Graybrook Lane; thence South 87 degrees 02 minutes 20 seconds West along the Northerly line of Graybrook Lane a distance of 226.82 feet to the POINT OF BEGINNING, containing 1.524 acres, more or less.

The Housing Authority of the City of New Albany
D.R.B 136, Page 454

(TRACT III)

A part of Section 35, Township 2 South, Range 6 East, Commencing at a concrete monument in the West line of said Section 35, Township 2 South, Range 6 East, which monument is also the northwest corner of the tract known as "Broadmead Terrace", running thence North 1° 45' West along said section line 312.5 feet to a point, the southwest corner of Mr. Graybrook's land; thence North 88° 45' East along Mr. Graybrook's land 1150 feet to a point in the center of the 30 foot Road known as "Graybrook's Lane"; thence South 5° 51' West along the center of said Lane 1062 feet to a point; thence continuing along the center of said Lane, South 63° 45' West 473 feet and continuing along the center of said Lane South 85° 60' West 87 feet to a point in the boundary line of the City of New Albany; thence North 28° 13' East along the City boundary line and the boundary line of the above mentioned Broadmead Terrace, 371.4 feet to a concrete monument; thence North 5° 51' East along the boundary of said City and said Broadmead Terrace, 1001.15 feet to a concrete monument, the northeast corner of said Broadmead Terrace; thence South 77° 55' West along the north boundary of said Broadmead Terrace and the City boundary 950 feet to the place of beginning, containing 11.5 acres. It being the same real estate conveyed to Virgie Atkins, widow of Howard Atkins by Bonnie Sloan Post No. 28, The American Legion, Department of Indiana, of Floyd County, Indiana on the 28th day of August 1948. (THIS INCLUDES ALL OF PLAT NO. 656 OF THE FLOYD COUNTY, INDIANA RECORDS).

The Housing Authority of the City of New Albany
(Do not possess deed)

(TRACT IV)

Lots numbered 1 through 15 and part of Lots numbered 16 through 18 of Plat 657 which was recorded on 8/22/1950 in the Office of the Recorder of Floyd County, Indiana.

TITLE COMMITMENT NOTES:

Schedule B-II Exceptions
Momentum Title Agency, LLC as issuing agent for Stewart Title Guaranty Company, Commitment No. IN-2025-1718, dated March 24, 2025)

6. Subject to the plat notes, easements, restrictions, protective covenants, setback lines, and any other matter disclosed on Plat 657 which was recorded on August 22, 1950 in the Office of the Recorder of Floyd County Indiana.
Comments: the plat was reviewed for the above content and disclosed no plottable information or items for comment.

7. Subject to the conditions, exceptions and reservations set forth in Deed Record 145, page 379 and Deed Record 135, page 263 in the Office of the Recorder of Floyd County Indiana.
Comments: affects the subject real estate but, other the description of the parent property, there is nothing to plat.

8. Subject to Sanitary Sewer Line Easement in a deed as Exhibit B, dated December 29, 2021 and recorded December 30, 2021 as Instrument No. 202120734 in the Office of the Recorder of Floyd County Indiana.
Comments: the easement is located on the 1.524 acre cut-out to Hope Southern Indiana, Inc. parcel as shown hereon.

9. Subject to Sanitary Sewer Easement to the City of New Albany Indiana by and on behalf of the New Albany Municipal Sewer Utility dated March 25, 2008 and recorded January 20, 2012 as Instrument No. 201200736 in the Office of the Recorder of Floyd County Indiana.
Comments: Shown hereon at the northeast corner of the subject real estate.

10. Subject to not having a deed of record to Housing Authority of the City of New Albany (a/k/a New Albany Housing Authority) for the Lots on Plat 657 which was recorded on August 22, 1950 in the Office of the Recorder of Floyd County Indiana.
Comments: Nothing for survey review.



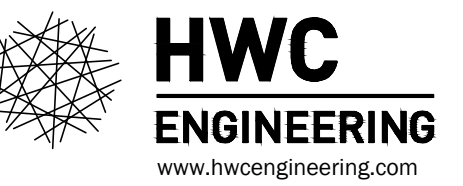
I.S.P.C.S.-E. ZONE - GRID NORTH



KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
Call 811 or 800-382-5544 Before you Dig!

REVISIONS

DATE	DESCRIPTION	BY



PARKVIEW TERRACE
NEW ALBANY, INDIANA
ALTA/NSPS LAND TITLE / BOUNDARY RETRACEMENT SURVEY
 CLIENT: NEW ALBANY HOUSING AUTHORITY
 300 ERNI AVE., NEW ALBANY, IN 47150

DRAWN BY AIM	JOB NUMBER 2024-243
CHECKED BY SWR	
DATE March 30, 2025	
SCALE AS SHOWN	
SHEET	

S1.1

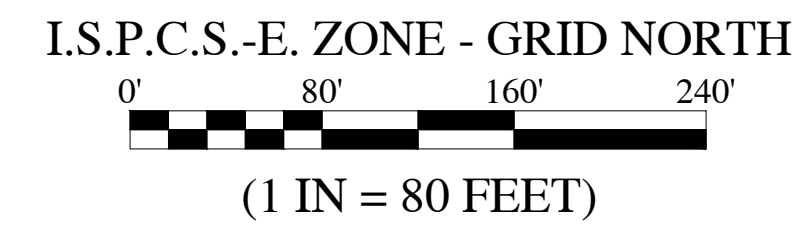
ALTA/NSPS LAND TITLE SURVEY
SHEET 1 OF 3

File Name: W:\New Albany Housing Authority\2024-243 New Albany Housing - New Parkview Redevelopment Plan\Design\CAD\Survey\24243_Survey.dwg, Layout: S1.1
 Plot Date: May 08, 2025
 Plot Time: 6:31pm

ALTA/NSPS LAND TITLE SURVEY

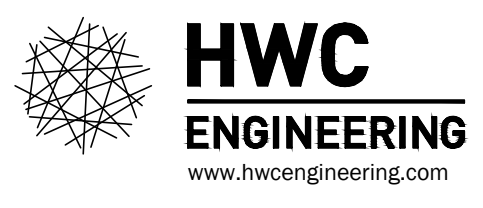
SURVEY OF PARKVIEW TERRACE
PT. OF PLAT 657, ALL OF PLAT 656 IN SECTION 34 & 35, TOWNSHIP 2 SOUTH RANGE 6 EAST
CITY OF NEW ALBANY, FLOYD COUNTY, INDIANA

MATCH LINE (SEE SHEET S1.3)



- (D) DEED BEARING/DISTANCE
- (M) MEASURED BEARING/DISTANCE
- BENCH
- MONUMENT - BENCHMARK
- MONUMENT - CAPPED REBAR
- ⊙ MONUMENT - CENTERLINE MON.
- ⊗ MONUMENT - CONCRETE MON./POST
- ✦ MONUMENT - CUT X
- ⊕ MONUMENT - MAG NAIL/PK NAIL
- ⊙ MONUMENT - REBAR/PIN/PIPE (NO CAP)
- △ MONUMENT - SECTION CORNER
- SITE - A/C UNIT
- ▽ SITE - ANTENNA
- ⊙ SITE - BOLLARD
- SITE - FENCE POST
- ⊙ SITE - FLAG POLE
- SITE - MAILBOX
- SITE - MISC. OBJECT (SEE LABEL)
- ⊙ SITE - PARKING METER
- ⊙ SITE - RAILROAD SIGNAL/GATE
- ⊙ SITE - SATELLITE DISH
- ⊙ SITE - SIGN
- TREE - DECIDUOUS
- TREE - MULTI-TRUNK
- SHRUB
- GUARDRAIL
- ELECTRIC (UNDERGROUND)
- TELEPHONE (UNDERGROUND)
- WATERLINE (UNDERGROUND)
- FIBER OPTIC (UNDERGROUND)
- GAS (UNDERGROUND)
- STORM SEWER
- SANITARY SEWER
- OVERHEAD UTILITY (ELECTRIC/FIBER)
- POST, FENCE POST
- ⊙ LIGHT POLE/AREA LIGHT
- ⊙ SANITARY MANHOLE
- ⊙ SEWER CLEANOUT
- ⊙ TELEPHONE PANEL/PEDESTAL
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE GUY ANCHOR
- ⊙ WATER HYDRANT
- ⊙ WATER IRRIGATION VALVE
- ⊙ WATER MANHOLE/VAULT
- ⊙ WATER MARKER POST
- ⊙ WATER METER
- ⊙ WATER POST INDICATOR VALVE
- ⊙ WATER VALVE
- BUILDINGS (TYP)
- ▨ FLOODWAY ZONE HATCH
- ▨ ZONE X HATCH
- ▨ ZONE AE HATCH
- ▨ BFE BASE FLOOD ELEVATION

REVISIONS		
DATE	DESCRIPTION	BY



**PARKVIEW TERRACE
NEW ALBANY, INDIANA**

ALTA/NSPS LAND TITLE / BOUNDARY RETRACEMENT SURVEY

CLIENT: NEW ALBANY HOUSING AUTHORITY
300 ERNI AVE., NEW ALBANY, IN 47150

DRAWN BY AIM	JOB NUMBER 2024-243
CHECKED BY SWR	
DATE March 30, 2025	SCALE AS SHOWN
SHEET	
S1.2	
ALTA/NSPS LAND TITLE SURVEY SHEET 2 OF 3	

Plot Date: May 08, 2025 Plot Time: 6:32pm File Name: W:\New Albany Housing Authority\2024-243 New Albany Housing - New Parkview Redevelopment Plan\Design\CAD\Survey\24243_Survey.dwg Layout: S1.2 By: sreeves



ALTA/NSPS LAND TITLE SURVEY

SURVEY OF PARKVIEW TERRACE
 PT. OF PLAT 657, ALL OF PLAT 656 IN SECTION 34 & 35, TOWNSHIP 2 SOUTH RANGE 6 EAST
 CITY OF NEW ALBANY, FLOYD COUNTY, INDIANA

SURVEYOR'S REPORT:

General

In accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code ("Rule 12"), the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established this survey as a result of uncertainties in reference monumentation; in record descriptions and plats; in lines of occupation; and as introduced by random errors in measurement ("Relative Positional Accuracy"). There may be unwritten rights associated with these uncertainties. The client should assume there is an amount of uncertainty along any line equal in magnitude to the discrepancy in the location of the lines and possession from the surveyed lines.

There may be differences of deed dimensions versus measured dimensions along the boundary lines shown hereon and, likewise, there may be found survey markers near, but not precisely at, some boundary corners. In cases where the magnitude of these differences are less than the Relative Positional Accuracy stated below and less than the uncertainty identified for the reference monumentation (discussed below), the differences may be considered insignificant and are shown only for purposes of mathematical closure. Such differences that are greater than the Relative Positional Accuracy and the uncertainty in reference monumentation should be considered worthy of notice and are therefore further discussed below.

This survey and report are based in part upon opinions formed in accordance with an Indiana Land Surveyor's responsibility to conduct a survey in accordance with "federal laws, state and local laws, and court precedent" (865) IAC 1-12-11(5), Rules of the Indiana State Board of Registration for Land Surveyors). Since Indiana has no statutes addressing how to resolve boundary lines, a solution based on principles derived from common law precedent must be relied upon as the basis for a boundary resolution.

Unless otherwise noted or depicted hereon, there is no evidence of occupation along the perimeter lines of the subject tract. All survey monuments set or found this survey are flush with existing grade unless otherwise noted.

The Relative Positional Accuracy (due to random errors in measurement) of this survey is within the specifications for an Urban Class Survey (0.07 feet plus 50 ppm) as defined in IAC 865.

Purpose

The within survey is a retracement of the lines and corners of a 57.389 acre tract of land pursuant to the minimum standard detail requirements set forth by the American Land Title Association (ALTA) and the National Society of Professional Surveyors (NSPS) and in accordance with the minimum standards outlined in Rule 12 Title 865 of the Indiana Administrative Code. The Housing Authority for the City of New Albany is the current owner of the Parkview Terrace development. It is comprised of several deeds to contain the entire real estate. Three deeds have been recovered from the public records consisting of 34.4 acres by deed. The remaining acreage or deeds should be provided by Momentum Title Insurance Company upon completion of their research.

The subject tract is scheduled for complete demolition in the upcoming days. The improvements shown hereon were located during a previous survey conducted by Blankenbeker & Son as File #J20986 dated June 12, 2013. The significant building improvements were visually inspected by an HWC representative on February 15, 2025 to confirm their existence so to reflect current site conditions. So, there may be some insignificant items internal to the site not depicted hereon. Therefore, this survey focused on those site improvements situated in close proximity to the retraced deed and plat lines of said 57.389 acre tract.

The site is located in Section 34 and 35 in Township 2 South Range 6 East in the City of New Albany, Floyd County, Indiana.

The following are recorded surveys and subdivision plats made reference to in this survey:

- Blankenbeker & Son Land Surveyors Inc., File #J20986, Drawing #2163 dated June 12, 2013.
- Plat No. 656 in Deed Record Book 136, page 454 - Quit-Claim Deed purporting to include all of Plat.
- Plat No. 657 (Deed not recovered or provided)
- A survey prepared by HWC Engineering for the Hope Southern Indiana, Inc. parcel being a 1.524 acre cutout from the southwest corner of the real estate (Tract II).

Basis of Bearings

The basis of bearings for this project is Grid North per the Indiana State Plane Coordinate System - East Zone.

Theory of Location

Reference Monumentation

The lines and corners of the subject tract are referenced to the United States Public Land Survey System (PLSS) section corners. The geographic location, composition of reference monument, and its uncertainty in location relative to the original government corner is discussed below.

Section Corner: Point of Beginning

Northwest Corner of Section 35 - a concrete monument matching the Floyd County records was reported on the above referenced survey from 2013. Today a 1/2 inch iron pin was found in concrete at the same position of the former monument. In the opinion of the undersigned, there is negligible uncertainty associated with the position of the corner.

The lines and corners of the within survey were established as follows:

The following are excerpts from the prior survey as retraced hereon and updated to reflect current conditions.

An iron pipe set by Joe Jacobi in 1963 was found on the northwest corner of the subject tract. A 3/4 inch pinched pipe was found this survey. The easterly right-of-way line of Bono Road was established from this pipe parallel with the curbs on Bono Road to a found steel pin. A 3/8 inch diameter copper rod inside a 1/2 inch diameter steel post was found this survey. The right-of-way of the southern end of Bono was established from deed dimensions. The geometry was retraced and not found in agreement with public concrete sidewalks. As a result, drill holes were established but not recovered this survey. A cut "X" will be set at these locations. The north right-of-way line of Graybrook was established parallel with the center line of this road per deed. A steel pin was found on this right-of-way line at the northeast corner of the subject tract. A 2 inch steel post was found at this corner this survey. Along the right-of-way line, rebar of unknown origin and rebar set by RJ Ruckman were recovered in their expected positions as shown. The north and east lines along Binford Park were established from deed dimensions. There was no evidence of possession along the two retraced lines. A 5/8 inch rebar, of unknown origin, was found at the angle break.

Description:

In review of the north adjoiners deeds, controlling calls contained therein create lines of contiguity. The Park property to the east cites a distance along its west line, common line with subject tract, 17.8 feet longer which creates as much uncertainty. However, the deed does not close north to south by 15.4 feet. If the misclosure is applied to the west line of the adjoiner, the uncertainty due to description is reduced to 2.4 feet. The internal deed lines for the 34.4 acre deeds all contain controlling elements creating no internal title uncertainties.

Occupation:

There is a fence generally along the north line of the subject Tract. There are fence posts along the north line of the subject tract lying 1.5 feet south of the line. There are public concrete sidewalks which extend onto the subject tract as much as 4.0 feet as shown hereon. At the southwest corner of the tract, the sidewalk is rounded and does not follow the right-of-way line as described. As a result, the sidewalk is located as much as 14.0 feet onto the subject tract.

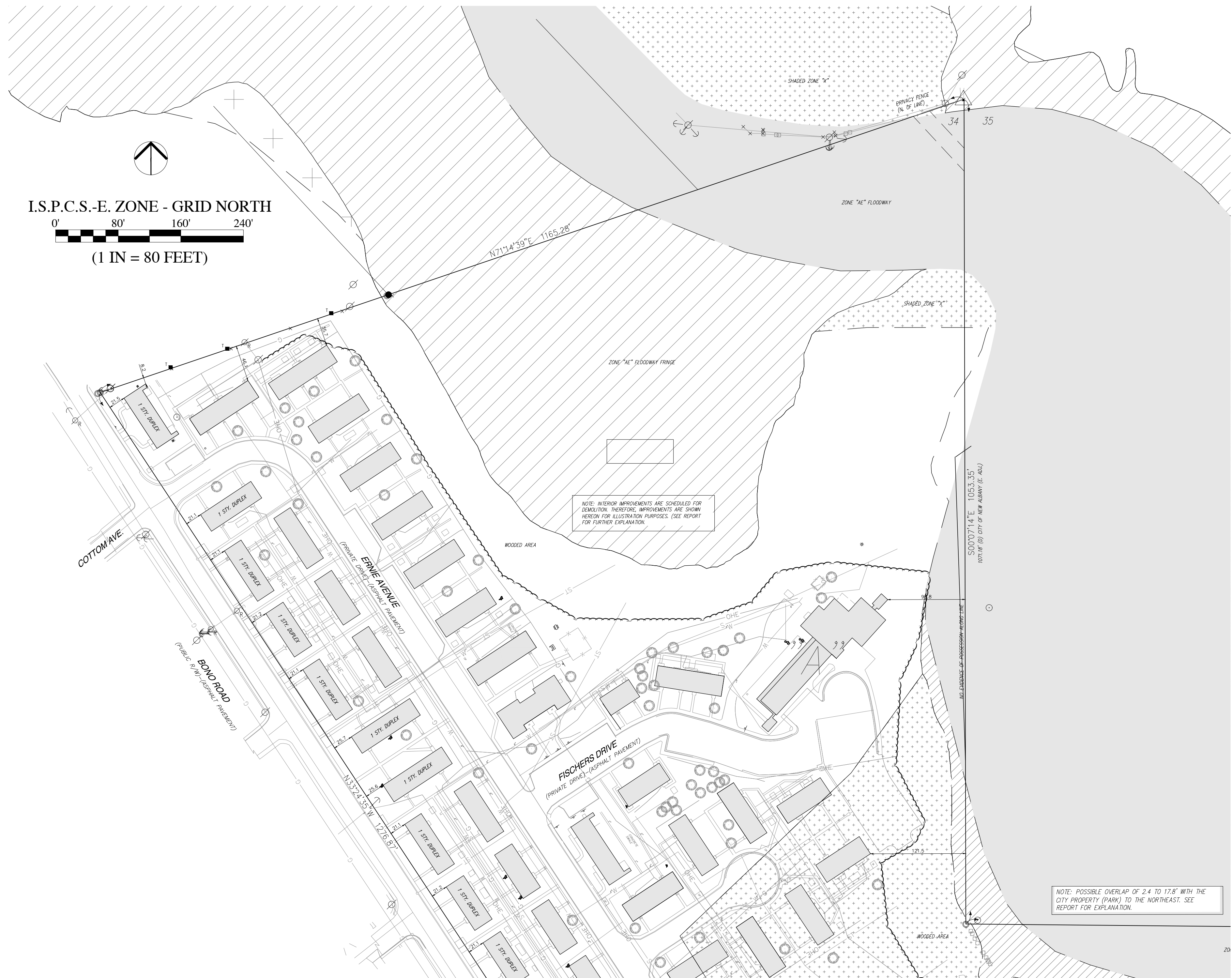
Monumentation:

There is 3.0 feet of east to west uncertainty with a recovered monument at the northwest corner of the subject tract.

The accuracy of any flood hazard data shown on this report is subject to map scale uncertainty and to any other uncertainties in location or elevation on the referenced Flood Insurance Rate Map. A portion of the within described tract of land lies within Flood Hazard Zone "AE" as said tract plots by scale on Map Number 1800620137F of the Flood Insurance Rate Maps for the City of New Albany, Indiana (maps dated April 16, 2014.)

Ownership information indicated hereon is as identified in County or Township records or on title work provided by others.

Evidence of source of title for the subject tract was provided in the form of Momentum Title Agency, LLC as issuing Agent for Stewart Title Guaranty Company, Commitment No. IN-2025-1718, dated March 24, 2025. Some of the items disclosed in Schedule B-II thereof may have been depicted on the survey and are identified by their recording data. Should any additional items need to be depicted on the survey, please advise and provide the appropriate documents.



CERTIFICATION:

ALTA/NSPS Land Title Survey

To: The Housing Authority of the City of New Albany; Momentum Title Agency, LLC; Stewart Title Guaranty Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 11(a), 13, 14, and 16 of Table A thereof. The fieldwork was completed February 15, 2025.

To the best of my knowledge and belief, the within plat represents a survey made under my supervision in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code.

PREPARED BY:

Steven W. Reeves
 Steven W. Reeves
 Professional Surveyor #20400005
 March 30, 2025
 E-Mail: sreeves@hwcengineering.com

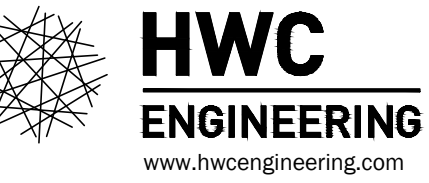


REDACTION STATEMENT:

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law. Steven W. Reeves

REVISIONS

DATE	DESCRIPTION	BY



PARKVIEW TERRACE
 NEW ALBANY, INDIANA
 ALTA/NSPS LAND TITLE / BOUNDARY RETRACEMENT SURVEY
 CLIENT: NEW ALBANY HOUSING AUTHORITY
 300 ERNIE AVE., NEW ALBANY, IN 47150

DRAWN BY AIM	JOB NUMBER 2024-243
CHECKED BY SWR	
DATE March 30, 2025	
SCALE AS SHOWN	
SHEET	

S1.3
 ALTA/NSPS LAND TITLE SURVEY
 SHEET 3 OF 3