



Addendum No. 3

October 24, 2025

PROJECT: BUILDING DEMOLITION AND SITE CLEARANCE AT PARKVIEW TOWER

TO: ALL CONTRACTORS SUBMITTING PROPOSALS FOR THE ABOVE PROJECT

The following responses are provided for questions from bidders concerning the RFP and project.

Item #1 – As part of the demolition RFP, contractors shall provide the total cost for full abatement of all asbestos-containing material that is deemed friable or made friable as a result of mechanical and/or other demolition procedures. For purposes of the RFP, friable materials per the NESHAP report include ceiling texture within the residential units and mud fitting insulation (TSI).

Item #2 – Attached to this addendum is a copy of the sign-in sheets from the pre-bid meeting.

Item #3 – The chart below reflects the unconfirmed unit square footage for Parkview Tower. NAHA provides no certainty or warranty regarding the accuracy of these values or the quantities of asbestos-containing material within the building. As-built drawings are not available, and, therefore, it is not possible to provide more accurate estimates on quantities for the mud fitting insulation (TPI).

Bedroom Size	# of Units	Avg. Square Footage (Net)	Total Net Square Footage
Studio	24	374	8,976
One Bedroom	42	480	20,160
Two Bedroom	4	731	2,924
	70		32,060

Item #4 – The Generac generator located on the back of Parkview Tower, along with its associated interior panel equipment, including the switchgear, will be removed prior to the building's release to the contractor.

Item #5 – “Can you please confirm that all the asbestos identified in the report is still present in the building, and the contractor is responsible for asbestos abatement?”

NAHA Response – Yes, all asbestos-containing materials identified in the NESHAP report are still in place, and friable material or material that is rendered friable by demolition is to be properly abated and managed for disposal by the contractor.

Item #6 – “Do you have any As-built drawings for this project?”

NAHA Response – Unfortunately, given the age of the development, NAHA does not have any substantial as-built drawings to provide.

Item #7 – “According to specification 2.5, if material is salvaged and sold, 50% of the sales proceeds will be given to NAHA. Typically, this salvage credit is already reflected in our bid. Should we exclude the full credit from our bid?”

NAHA Response – Respondents are allowed to include salvage credits within their bid, but in their response, the inclusion of salvage credits must be in their bid but must be clearly called out, and they must provide the estimated amount of proceeds from recycling and salvaging.

Item #8 – “Could you please provide information on whether the building is supported by piles? If so, what type of piles are used, and how deep do they go? Additionally, to what extent do we need to remove these piles? Is it possible to abandon them in place?”

NAHA Response – It is unknown whether the building is supported by piles or caissons under the slab foundation due to the lack of existing as-built drawings. Respondents should assume there are piles or columns in place. NAHA will not require removal beyond the basement, crawl space pit, and the bottom floor slab foundation.

Item #9 – “Are we responsible for removing the parking lot or anything outside the building footprint? (If yes, please show in plans or a picture the extent of it, It looks like there are some retaining walls are belong to neighboring properties”

NAHA Response – Attached to this addendum is a revised aerial view clarifying site items for removal. The contractor will be responsible for removing all of the following within the site boundary identified in **RED**: Existing sidewalks surrounding the building, the driveway and turnaround at the back of the building, the entire parking lot, and the retaining wall along the perimeter of the property. The contractor will be responsible for cutting, removing, and capping all storm structures located within the parking lot.

Item #10 – “Can we use on-site materials to safely slope the building away from the neighboring properties, and if not, please provide clear instructions on the backfilling?”

NAHA Response – Contractors will not be allowed to retain any material, including concrete, for purposes of backfill.

For purposes of the RFP response, respondents should account for the total cost of backfilling and compaction of the building, sidewalk, parking lots, retaining wall, and storm structure footprints. Backfill material shall be structural fill that is clean, well-graded clay borrow material free of organics, debris, trash, or contamination. Place backfill in uniform horizontal lifts not exceeding 8 inches (loose thickness). Compact each lift to a minimum of 95% of maximum dry density per ASTM D1557. Grade all filled areas to provide positive drainage toward the site’s outer boundary (tree line). Finish grade shall be smooth and uniform with no ponding or low spots.

Topsoil grade shall be a minimum of 6 inches of clean, fertile topsoil suitable for planting and free of debris, rocks larger than 2 inches, and weeds. Seed and straw shall be applied uniformly throughout the site.

Item #11 – “The submission requirements include information and pictures for “all demolition projects in progress or completed over the past five years.” Some of the requested information is proprietary for some projects and we cannot include it with our bid. Would it be acceptable to only include the requested information and pictures for the three similar demolition projects that we use as references?”

NAHA Response – Respondents are permitted to provide only pictures or select information for up to three similar demolition projects as references. If providing a list of past projects, proprietary information can be omitted, as necessary. But understand that failure to display the scope and capacity of the respondent and/or its subcontractors could impact the review.

Item #12 – “Is it stating that full abatement shall be done prior to demolition, or controlled demolition?”

NAHA Response – We would like respondents to provide an estimate for pre-demolition abatement of the ceiling texture and mud-fitting insulation.

Item #13 – **NAHA will host a second site visit for respondents on Thursday, October 23, 2025, from 9:00 AM to 10:00 AM (EST).**

During this time, the building will be open with limited access to Floors 1–3 and the basement. This visit will allow respondents to view all three floor layouts. Please note that this will be the final opportunity for contractors to tour the building.

Item #14 – NAHA is confirming that there is no bid bond required for this project.

Item #15 – NAHA confirms it will remove furniture, trash, and appliances from units and common areas prior to issuing the Notice to Proceed.

Item #16 – Attached to addendum #3 is an alternative ALTA Survey that is older than the survey provided with the RFP package.

End of Addendum

~TOPOGRAPHIC LEGEND~

- ☐ DENOTES BENCH SEAT
- ☐ DENOTES STORM SEWER CATCH BASIN
- ☐ DENOTES 6" ± TALL LAUNDRY POLE
- ☐ DENOTES SANITARY SEWER CLEAN OUT
- ☐ DENOTES FIRE HYDRANT
- ☐ DENOTES GAS METER
- ☐ DENOTES GAS VALVE
- ☐ DENOTES STEEL BOLLARD
- ☐ DENOTES UTILITY POLE
- ☐ DENOTES GUY WIRE
- ☐ DENOTES SANITARY SEWER MANHOLE
- ☐ DENOTES PICNIC TABLE
- ☐ DENOTES SIGN
- ☐ DENOTES SATELLITE DISH
- ☐ DENOTES LIGHT POLE
- ☐ DENOTES WATER METER
- ☐ DENOTES WATER VALVE
- ☐ DENOTES STORM SEWER MANHOLE
- ☐ DENOTES TREE
- ☐ DENOTES VOLLEYBALL POLE
- ☐ DENOTES UNDERGROUND 2" POLYETHYLENE GAS LINE
- ☐ DENOTES UNDERGROUND 4" POLYETHYLENE GAS LINE
- ☐ DENOTES UNDERGROUND GAS LINE (SIZE/TYP. UNKNOWN)
- ☐ DENOTES 6" C.I. WATER LINE
- ☐ DENOTES OVERHEAD TELEPHONE WIRES
- ☐ DENOTES OVERHEAD ELECTRIC SERVICE WIRES
- ☐ DENOTES OVERHEAD CABLE TELEVISION WIRES
- ☐ DENOTES OVERHEAD ELECTRIC, TELEPHONE AND CABLE TV WIRES
- ☐ DENOTES FENCE
- ☐ DENOTES CONCRETE PAD
- ☐ DENOTES CONCRETE STOOP
- ☐ DENOTES LOCATION OF FLOOR ELEVATION
- ☐ DENOTES INVERT NOT ACCESSIBLE
- ☐ DENOTES INVERT NOT MEASURED
- T.C. DENOTES TOP CURB
- GUT DENOTES GUTTER
- PAV DENOTES PAVEMENT
- ☐ DENOTES UNDERGROUND ELECTRIC WIRES
- ☐ DENOTES UNDERGROUND TELEPHONE WIRES
- ☐ DENOTES UNKNOWN UNDERGROUND UTILITY WIRES

ID	TYPE	GRATE/RIM EL.	INV. EL.
101	CURB INLET	466.78	463.72
102	CURB INLET	466.72	463.82
103	CURB INLET	466.0	460.85
104	CURB INLET	466.06	462.96
105	CURB INLET	470.39	NOT AVAILABLE
106	CURB INLET	468.04	463.19
107	CURB INLET	465.4	462.85
108	YARD INLET	464.19	463.04
109	CURB INLET	462.30	458.22
110	CURB INLET	463.55	460.25
111	YARD INLET	466.06	462.36
112	YARD INLET	468.84	468.08
113	YARD INLET	468.75	465.38
114	YARD INLET	468.89	464.63
115	YARD INLET	467.86	NOT AVAILABLE
116	YARD INLET	464.50	460.88
117	YARD INLET	461.68	457.28
118	CURB INLET	462.044	458.94
119	CURB INLET	461.83	455.93
120	CURB INLET	460.51	457.21
121	CURB INLET	460.33	455.58
122	CURB INLET	457.36	454.56
123	CURB INLET	457.11	453.31
124	CURB INLET	465.93	463.33
125	CURB INLET	465.75	N/A

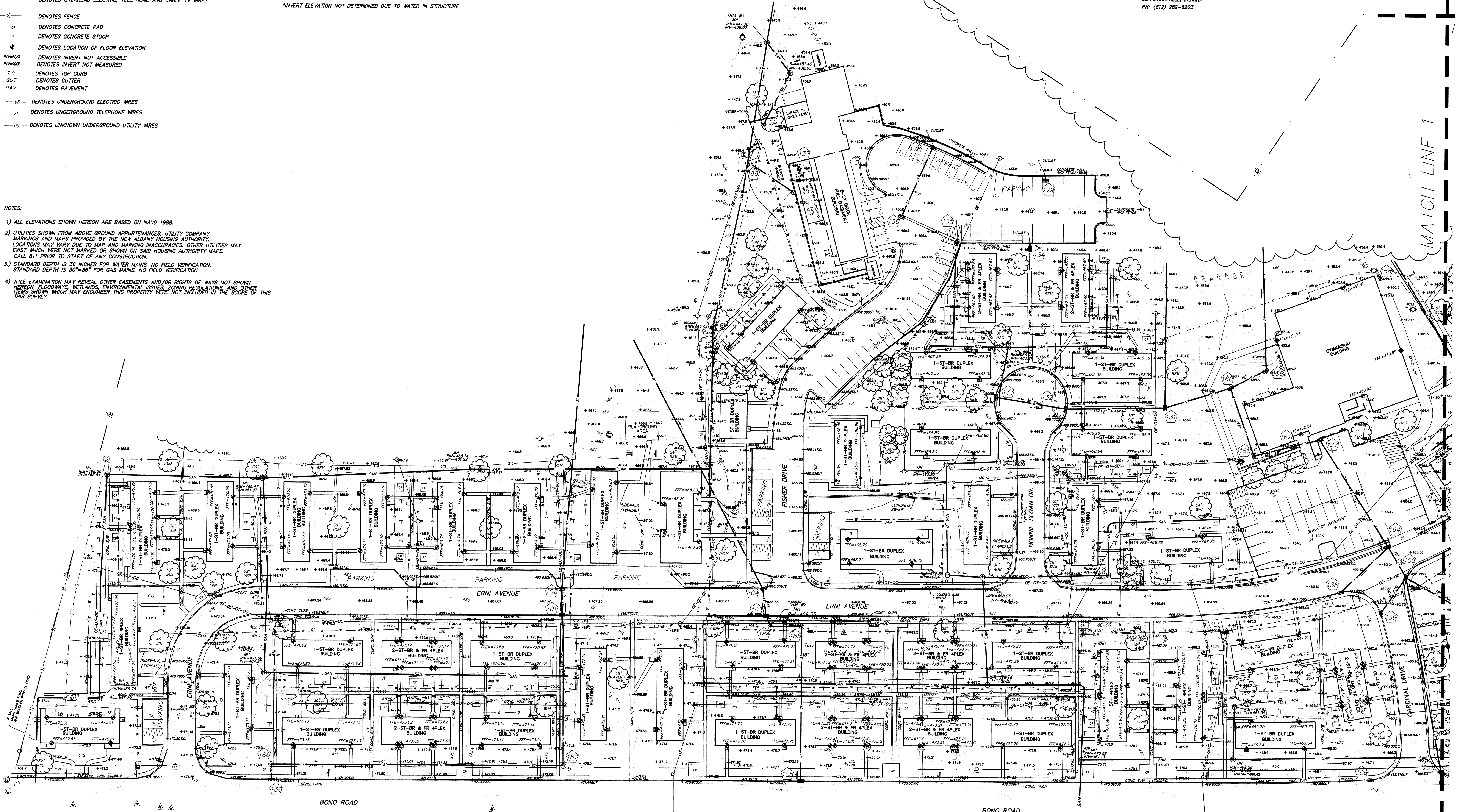
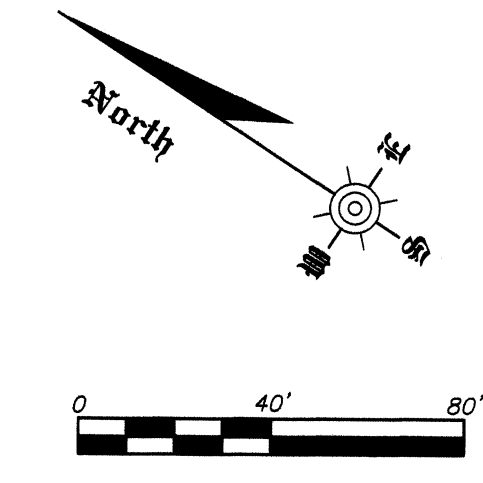
ID	TYPE	GRATE/RIM EL.	INV. EL.
* 126	CURB INLET	466.27	NOT AVAILABLE
* 127	YARD INLET	465.54	NOT AVAILABLE
128	CURB INLET	470.30	465.50
129	CURB INLET	470.18	466.18
130	CURB INLET	470.31	467.39
131	YARD INLET	466.07	461.15
132	CURB INLET	465.77	461.67
133	CURB INLET	465.59	462.74
134	YARD INLET	465.25	463.15
135	CURB INLET	460.94	458.39
136	SURFACE INLET	460.09	457.61
137	YARD INLET	460.16	458.06
138	CURB INLET	462.82	459.37
139	CURB INLET	463.05	459.30
140	SURFACE INLET	468.68	464.18
141	SURFACE INLET	468.03	465.03
142	CURB INLET	468.16	465.33
143	CURB INLET	463.23	460.30
144	CURB INLET	463.51	460.23
145	CURB INLET	463.30	461.85
146	CURB INLET	463.80	462.20
147	STORM MH	471.73	464.57
148	STORM MH	466.41	458.05
149	STORM MH	462.68	456.78
150	STORM MH	460.51	451.84

ID	TYPE	GRATE/RIM EL.	INV. EL.
151	CURB INLET	460.43	457.35
152	STORM MH	459.59	449.59
153	CURB INLET	457.79	448.35
154	CURB INLET	461.17	457.94
155	CURB INLET	460.51	456.37
156	10" P.V.C.	N/A	440.2
157	YARD INLET	464.82	NOT AVAILABLE
158	YARD INLET	460.40	457.67
159	YARD INLET	458.71	464.91
160	YARD INLET	458.78	455.14
161	YARD INLET	460.41	456.05
162	YARD INLET	459.45	456.28
163	CURB INLET	463.72	459.92
164	CURB INLET	463.1	456.7
165	YARD INLET	465.88	NOT AVAILABLE
166	CURB INLET	451.38	NOT AVAILABLE (CLOGGED)
167	YARD INLET	457.37	453.05
168	YARD INLET	458.62	456.61
169	YARD INLET	458.24	454.31
170	YARD INLET	463.79	462.14
171	YARD INLET	463.2	461.4
172	CURB INLET	463.62	460.20
173	CURB INLET	463.65	459.75
174	YARD INLET	468.58	466.71
175	YARD INLET	470.71	467.23

ID	TYPE	GRATE/RIM EL.	INV. EL.
176	YARD INLET	463.0	460.90
177	SURFACE INLET	461.34	457.34
178	CURB INLET	458.31	454.28
179	SURFACE INLET	458.27	455.47
180	CURB INLET	467.94	464.14
181	STORM MH	464.94	460.01
182	STORM MH	467.39	461.81
183	STORM MH	469.68	NOT AVAILABLE
184	STORM MH	469.35	464.2
185	STORM MH	469.02	464.82
186	STORM MH	471.30	467.03
187	STORM MH	472.00	466.15
188	STORM MH	448.24	447.06

* INVERT ELEVATION NOT DETERMINED DUE TO WATER IN STRUCTURE

- NOTES:**
- 1) ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 1988.
 - 2) UTILITIES SHOWN FROM ABOVE GROUND APPURTENANCES, UTILITY COMPANY MARKINGS AND MAPS PROVIDED BY THE NEW ALBANY HOUSING AUTHORITY. LOCATIONS MAY VARY DUE TO MAP AND MARKING INACCURACIES. OTHER UTILITIES MAY EXIST WHICH WERE NOT MARKED OR SHOWN ON SAID HOUSING AUTHORITY MAPS. CALL 811 PRIOR TO START OF ANY CONSTRUCTION.
 - 3) STANDARD DEPTH IS 36 INCHES FOR WATER MAINS. NO FIELD VERIFICATION. STANDARD DEPTH IS 30"-36" FOR GAS MAINS. NO FIELD VERIFICATION.
 - 4) TITLE EXAMINATION MAY REVEAL OTHER EASEMENTS AND/OR RIGHTS OF WAYS NOT SHOWN HEREON. FLOODWAYS, WETLANDS, ENVIRONMENTAL ISSUES, ZONING REGULATIONS, AND OTHER ITEMS WHICH MAY ENCUMBER THIS PROPERTY WERE NOT INCLUDED IN THE SCOPE OF THIS SURVEY.



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DUKE ENERGY
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PH: (812) 948-4952

GAS
VETREN GAS CO.
2538 LINCOLN DRIVE
CLARKSVILLE, IN 47129
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PH: (812) 948-4952

WATER
INDIANA AMERICAN WATER COMPANY
2433 MOORE ROAD
JEFFERSONVILLE, INDIANA
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REGISTERED LAND SURVEYOR No. 000017

DATE: 12.06.2011
SCALE: 1" = 40 FEET
BY: [Signature]

OWNER: THE HOUSING AUTHORITY OF THE CITY OF NEW ALBANY
NEW ALBANY, INDIANA 47150
ORDERED BY: KEVIN MATTHEWS, AIA
NEW ALBANY, INDIANA 47150
PROJECT: PART OF PLAT 657 AND ALL OF PART OF SECTIONS 34 AND 35 OF TOWNSHIP 2 SOUTH, RANGE 5 WEST, NEW ALBANY, INDIANA